

WATERLOO ESTATES

ARCHITECTURAL DESIGN GUIDELINES

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DESIGN GUIDELINES

The purpose of the ARCHITECTURAL DESIGN GUIDELINES (the Guidelines) shall be to provide standards which apply to all neighborhood lots. **Such standards protect the property values for all members of the Neighborhood. Our goal is to create a community where the value of your dream home is protected.**

The statements and standards in these ARCHITECTURAL DESIGN GUIDELINES shall strive to narrate the general intent for the residential design of Waterloo Estates. They are guidelines intended to assist the Homeowner and Design Professionals in the development of the Waterloo Estate homesites. It is recommended that both the Architect and the Landscape Architect work in tandem through all stages of design to ensure a cohesive end product representative of the Waterloo Estates Architectural theme.

The recommendations and requirements contained within the Guidelines shall not be construed as absolute and final rules, binding on the Architectural Review Board (the ARB). The ARB may issue changes and addendums to the Guidelines from time to time resulting from unforeseen changes such as changing requirements of regulating governmental agencies, technological findings about building materials or other considerations as determined by the ARB.

ARCHITECTURAL THEME

Waterloo Estates is an estate community with a rich cultural history. The Waterloo Estate Tract located on John's Island, South Carolina is a portion of the larger historic Waterloo Plantation founded by James Mair in the early 1800s. Waterloo Plantation itself was only a portion of an even larger plantation owned by the Raven-Mathewes family, some of the first settlers of colonial eighteenth-century South Carolina.

Waterloo Estates strives to preserve the natural qualities of the existing land while creating a close-knit community built to the highest standards.

The architectural and landscape designs of Waterloo Estates should respond to both the natural environment and cultural history of the land. The ARCHITECTURAL DESIGN GUIDELINES are shaped by an appreciation for the historical precedents set forth from the 18th, 19th and 20th – century architecture of the Lowcountry, an architecture which represents proportion, simplicity and refined detailing.

SECTION 1 - HEIGHT, SCALE, MASS

HOME SIZES

To protect the natural beauty of the Waterloo Estates community, home square footage guidelines have been established. The square footage requirements set forth below include enclosed heated floor area and are exclusive of the following areas: heated and unheated crawlspaces/basements, vaulted ceiling areas and attics, unheated porches of any type, attached or detached garages, accessory buildings and unheated storage areas, decks and patios.

- Any single-family dwelling shall not contain less than 3,000 SF (square feet) of enclosed heated space.

The ARB maintains the right, in its sole and absolute discretion, to allow variances of up to ten percent (10%) of such minimum square footage requirements. Variances may be granted because of the following: restrictive topography, lot dimensions, unusual site related issues or any other reason the ARB deems significantly restrictive.

Minimum enclosed heated space square footage variances must be granted from the ARB in writing.

- The ARB at its discretion may disapprove a submittal deemed inappropriate for the site due to its size. The ARB will not approve any design that it determines will crowd the site or appear out of context with existing structures.
- Home sizes shall conform to the restrictions set forth in the Charleston County Zoning Ordinances, particularly as they relate to setbacks, lot coverage and height restrictions.

SETBACKS & SITING

A primary design goal for the Waterloo Estates Architect is to carefully observe the natural environment. It is important that the Architect:

- Analyze the physical environment of the specific homesite, consider site orientation and climatic considerations for passive and active cooling systems, cross ventilation, etc.
- Consider views and other unique site features.

- Create designs that reflect sensitivity to adjacent neighbors in finish materials, scale, and form.
- Orient the home for privacy from the street, neighbors, etc.

PROPORTION & MASSING

Proportion and Massing are essential elements of good home design. The building should be carefully planned so that the final building form is appropriate for the specific homesite.

Though proportion and massing will vary between different architectural styles, the following principles are recommended:

- The main mass of the house should be visible and obvious. Additional massing should appear secondary and still relate to the main mass.
- Proportions should strive to be vertical in nature. Individual elements of the house should be taller than they are wide.
- Large houses should be designed to avoid long facades; instead, the design should incorporate smaller elements to break down overall massing.
- Building shapes should provide interest and be compatible with neighboring structures. No one residence, structure or other improvement should stand apart in siting, design or construction as to detract from the overall appearance of Waterloo Estates.
- Homes should generally be one to three stories tall. The building height must be compliant with the maximum building heights in the Charleston County zoning standards.
- Interior ceiling heights shall be a minimum of 10'-0" on the first (street grade) floor. A 9'-0" minimum ceiling height is recommended for the second floor.
- Particular attention should be paid to the first floor elevation, as determined by the Federal flood regulations of Charleston County & FEMA.
- Garages shall be located on the side or rear of the home and shall not be located on the front.

SECTION 2 – ARCHITECTURAL STYLES

INTENT

Varying architectural styles by homesite is encouraged at Waterloo Estates – the common denominator shall be architecture that is regionally appropriate and unobtrusive in form. The mixing of more than one architectural style per homesite, however, is prohibited and will not be permitted by the ARB. The Architect is encouraged to provide ample consideration to neighboring properties and site context prior to developing a design.

The following styles are considered appropriate and compatible with one another and when combined, they create a rich architectural diversity. The following styles shall be encouraged:

- Village Style
- Informal Lowcountry Style
- Shingle Style
- Plantation Revival Style
- Town Style – Federal (Adams)
- Town Style – Greek Revival
- Town Style – Georgian Colonial

Illustrations are accompanied by descriptions of each of these styles on the following pages.

VILLAGE STYLE



STYLE FEATURES:

- Partially exposed crawl space beneath a 1 ½ story main structure.
- Pier foundations of brick or stucco with an open lattice-type enclosure.
- Dormer windows.
- Front & rear porches.
- Informal structure with a metal roof.
- ‘Rural’ in character.
- Typical window types: 1:1, 2:1, 2:2.
- Roofs with steeper pitches up to 45 degrees.

INFORMAL LOWCOUNTRY STYLE



STYLE FEATURES:

- Incorporates indoor / outdoor living areas with wide, deep porches.
- Deep eaves & overhangs incorporate seasonally changing sun angles.
- Oriented to take advantage of southwest summer breezes.
- Exposed rafter tails.
- Simple columns: typically square with chamfered edges.
- Simple railings with square pickets.
- Architectural design emphasizes natural ventilation.
- Large-pane windows often with hinged, operable shutters; typical lite pattern of 6:6.
- Lapped or board & batten siding.
- Combinations of gabled and shed metal roofs, with low sloping porch roofs.
- Pier foundations with lattice-type enclosure.
- Roof slopes 30 to 45 degrees.

SHINGLE STYLE



STYLE FEATURES:

- Shingle style was brought to the Lowcountry by Northern winter residents.
- Shingle siding on exterior sides and eaves is used in combination with brick, stone or hard surfaces.
- Slate, shake, copper and other roof materials.
- Roof slopes 30 to 45 degrees.
- Windows often feature a wide variety and combination of styles including square, elliptical, Palladian, half-round, round and fan light.
- Windows are typically without shutters.
- Enclosed crawlspace foundation.

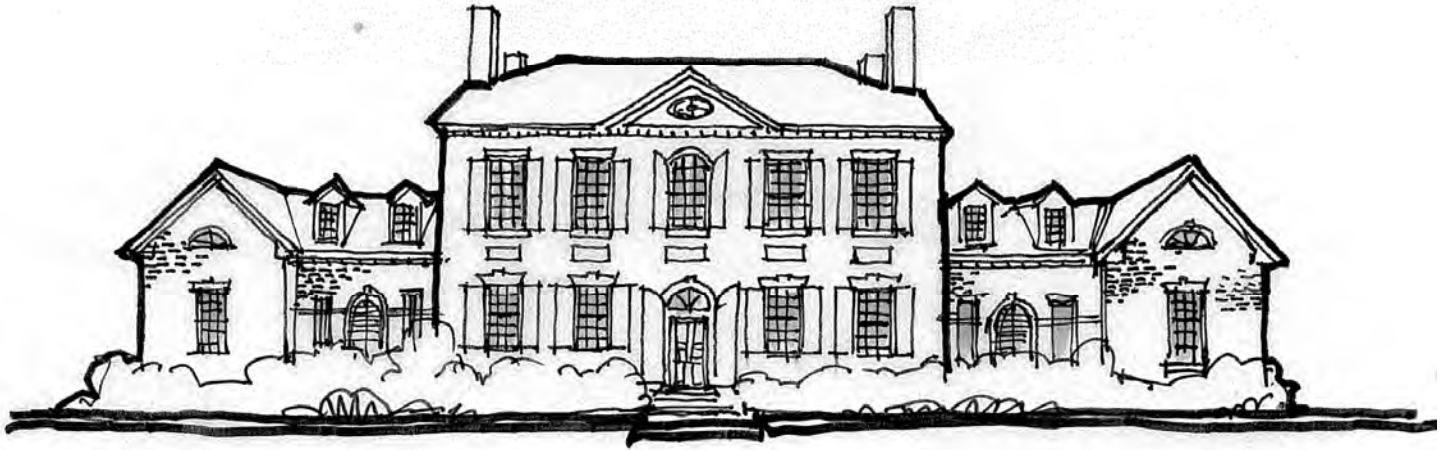
PLANTATION REVIVAL STYLE



STYLE FEATURES:

- Expansive porches / piazzas spanning the entire width of two-story structures.
- Deep eaves & overhangs incorporate seasonally changing sun angles.
- Roof features include dormers and / or cupolas.
- Oriented to take advantage of southwest summer breezes.
- High ceilings.
- Floor-to-ceiling windows.
- Operable shutters.
- Large scaled round or square columns in Tuscan or Doric style.
- Often incorporating sleeping porches.
- Lower roof slopes varying from 25 to 35 degrees.

TOWN STYLE – FEDERAL (ADAMS)



STYLE FEATURES:

- Semi-circular or elliptical fan light over door.
- Palladian window configurations, paired, triple or double-hung sash windows with six or nine panes per sash or bay windows.
- Typically symmetrical design.
- Cornice emphasized by decorative moldings, most commonly with tooth-like dentils.
- End chimneys common in southern Federal designs; typically chimneys are brick with detail.
- Gable or hipped roofs with slopes 30 to 45 degrees.

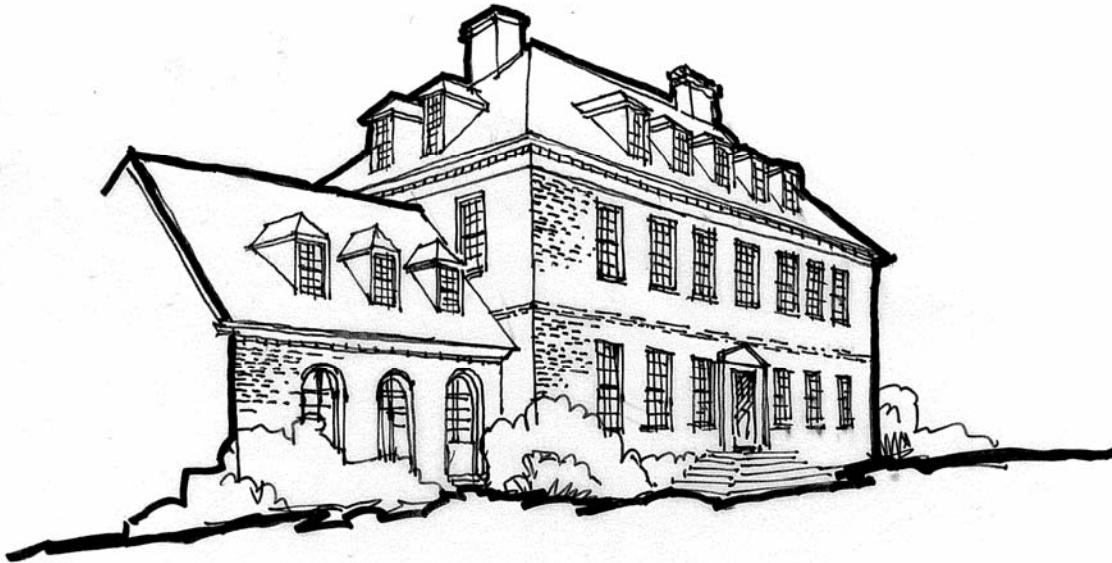
TOWN STYLE – GREEK REVIVAL



STYLE FEATURES:

- Use of ‘gable front’ floor plan with gable facing street.
- Porches and /or temple-front entryways with entry door facing street.
- Rectangular transoms and sidelights at main entry door.
- Dentil cornice emphasized with a wide band of trim (often represents classical entablature: cornice, frieze and architrave).
- Gable or hipped roofs; pitches varying from 25 to 35 degrees.
- Most commonly uses Doric columns.

TOWN STYLE – GEORGIAN COLONIAL



STYLE FEATURES:

- Renaissance-inspired classical symmetry: two rooms deep, two rooms high (four-over-four plan).
- Paneled front door – usually centered and capped by an elaborate decorative entablature supported by decorative pilasters.
- Windows with double-hung sashes and many small panes, typically nine or twelve panes per sash.
- Central or end chimneys.
- Hipped roof (British Georgian) or side-gable roof (American Georgian); sometimes gambrel roof or centered gable.
- Roof slopes vary from 30 to 45 degrees.
- Roof balustrades common.
- Palladian windows and the use of oval windows in front-facing gable ends typical.

SECTION 3 – ARCHITECTURAL DETAILS

Detailing should be consistent and appropriate with the architectural style chosen, refer to SECTION 2 – ARCHITECTURAL STYLES. Detailing should be repeated on all elevations and structures located on the homesite. Careful detailing should be considered when two or more materials are introduced into a façade design.

MATERIALS & COLORS

The fenestration must be compatible with the architectural style of the home. The colors for all exterior finishes should represent sensitivity to the precedent of the Lowcountry and should complement the natural environment.

- Colors which are soft, subtle and considered complementary of the natural environment are recommended. The use of overly bright and/or garish colors is expressly prohibited.
- Trim color should not contrast strongly with the exterior wall color.
- Color samples for new construction and re-staining of existing buildings shall be presented to the ARB in the form of color samples on-site for approval, and shall be submitted in advance of painting and staining.

FOUNDATIONS

FOUNDATION MATERIALS:

- Foundation Masonry Piers: Minimum of 16” x 16” and must support required finished floor elevation as specified by local, state and federal regulations.
- Approved materials include: Brick, Smooth or Scored Stucco, and Tabby Stucco.
- Foundation vents are required at open foundations under porches, decks, and the main house.
- Foundation vents must be either wooden horizontal louvers or wrought iron.
- Vents may be site-built square lattice, but premanufactured lattice is expressly prohibited.

- Pierced brick patterns may be used where appropriate.
- Plastic foundation vents are not acceptable.

FOUNDATION CONSTRUCTION:

- Infill panels between piers must be recessed a minimum of 2” from the outer edge of the piers.

FOUNDATION - NOTES:

- All foundations (crawlspace or slab) must continue to a minimum of 30” above finished grade as seen from the front elevation.

EXTERIOR WALLS

Building facades should be varied and articulated to provide visual interest to pedestrians. Building entries, primary windows and key decorative elements should face the street or the main side yard.

EXTERIOR WALL MATERIALS:

- **Cedar Shake:**
5” to 8” exposure.
Staggered butt, even butt.
Finish: stained or painted.
- **Horizontal Wood Siding:**
5” to 8” exposure.
Horizontal siding, clapboard, rabbited, simple channel, shiplap joint.
Plywood siding is expressly prohibited.
Finish: stained or painted, matte finish.
- **Cement Fiberboard (smooth) Siding:**
5” to 8” exposure.
Texture: smooth, beaded edge, board & batten, scalloped edge.
Finish: painted.
- **Brick:**
Horizontal running bond, common bond or Flemish bond
Soldier courses at story changes, use of water table, belt course and shaped brick are encouraged where appropriate.

Oversized brick are prohibited; nothing greater than a queen size brick shall be permitted.

Raked mortar joints, maximum ½” width.

Finish: traditional southern colors in the brown and gray families.

Brick samples must be approved by the ARB.

- Other materials, such as tabby or stucco, may be appropriate under certain circumstances if approved by the ARB.
- Exterior Insulation Finish Systems (EIFS) materials will not be permitted.
- Aluminum and vinyl siding are expressly prohibited.
- Vinyl, as approved by the ARB, may be allowed for the following applications: fascia, soffits, windows and shutters.

EXTERIOR WALL CONSTRUCTION:

- Stick-built and panelized construction only.
- No modular construction allowed.

EXTERIOR WALL - NOTES:

- Corner boards must be at least 2” x 8”.
- Details at soffit, fascia, base, corners, windows and decks should have common elements that help unify appearance.

WINDOWS

Windows should be selected and located to provide views, light, privacy and natural ventilation.

WINDOW MATERIALS:

- Low E and thermal glazed or clear glass ONLY.
- Exterior storm windows generally will not be permitted.
- Insulated, true divided light or simulated divided light only; no interior or removable muntins.

- Windows may be wood, aluminum or vinyl clad if a wood trim and sill are utilized.
- Window light patterns should be in keeping with the architectural style of the home. Recommended divided light sashes: 9:9, 6:6, 6:1, 4:4, 4:2, 2:2, 2:1. No 1:1 configurations will be approved.
- Decorative glass for windows is discouraged; however, traditional leaded glass windows are allowed subject to ARB approval.
- The ARB reserves the right to require window samples to be submitted for review.

WINDOW CONSTRUCTION:

- Casing must be a minimum of 1 ¼" x 5 ½". Standard 2 ¼" case is prohibited.
- Sill thickness shall be a minimum of 3".
- Two or three courses of brick at Jack arches should be utilized above windows on masonry homes.
- No window or door casing or other decorative treatment shall abut any frieze board.

WINDOW - NOTES:

- The majority of windows should be the same type and style throughout all building facades.
- Primary windows on street-facing elevations shall be vertical or square in proportion.
- Window placement should be considered in relationship to the column spacing of the porch and the vertical alignment of other windows and building elements.
- Plate glass & glass block windows are prohibited on street-facing elevations.
- Leaded glass in doors is discouraged; however, it will be considered on a case-by-case basis, subject to approval by the ARB.
- Transoms over doors are encouraged at the primary level, especially at porches and piazzas.

- Transom dimensions must align with the doors directly below them.
- Skylights are not permitted on primary roofs visible from the public right-of-way.
- False windows are discouraged; however, they will be permitted as long as they are disguised with shutters or solid panels in the case of stucco or brick.

DORMERS

DORMER CONSTRUCTION:

- Dormer construction should be compatible with the home's architectural style and shall meet the requirements of the EXTERIOR WALLS and WINDOWS sections above.
- The trim and window surroundings must be proportionally sized relative to roof pitches and windows.
- Dormers may be setback within the roof mass or partially engaged with an exterior wall.
- Dormer centerlines should align with the centerline of the windows directly below them.

DORMER - NOTES:

- Dormers and shed roofs must be a minimum of 3'-0" above lower roof edge.
- Typical dormer proportions are 2-2 ½ times taller than they are wide.

SHUTTERS

SHUTTER MATERIALS:

- Shutters shall be wood. High-quality synthetic storm shutters are permissible pending approval from the ARB.

SHUTTER CONSTRUCTION:

- Shutters must be hinged, operable and sized to match openings.

- Shutters shall be appropriate to the home's architectural style. Recommendations include: louvered, raised panel, plank or board shutters.
- Architecturally correct shutterdogs are desirable underneath shutters.

SHUTTER - NOTES:

- Any house that has shutters on one window must have shutters on all other windows except those that are gables, triple ganged, or bay windows.

DOORS

DOOR MATERIALS:

- Low E or clear glass ONLY.
- Doors visible from a public street shall be wood or a wood and glass combination and shall be historical and traditional in design.
- At primary entries, high-quality materials such as mahogany, heart pine, or similar materials are recommended. The ARB reserves the right to approve stainable, paintable fiberglass where it is deemed appropriate.
- Metal doors may not be used on any main entrance and/or any secondary doors visible from the front façade or any side streets.

DOOR - NOTES:

- Main entry doors should be simple and elegant in design and appropriate to the architectural style presented.
- Door and window headers should align.
- Properly scaled transoms and sidelights are recommended at front entries.

PORCHES

Covered entries, front porches and side porches are dominant in historic Lowcountry designs and, therefore, are encouraged.

PORCH MATERIALS:

- Foundations shall be of the same material as the house.
- Recommended materials for front porch columns: wood or fiberglass.
- Recommended materials for front porch railing: wood or wrought iron.
- Porch stair treads and risers may be constructed of brick, stone, or wood.
- Porch flooring may be constructed of brick, stone, or wood.
- Porch handrails & newel posts may be round, oval, chamfered, or square, with or without a beaded edge and provide the opportunity for decorative craftwork and high quality detailing. Top rails shall be 2" x 8".
- Porch Balusters may be square or turned.
- Porch ceilings may be 1" x 4" or 1" x 6", plain or beaded, square edged or tongue and groove.

PORCH CONSTRUCTION:

- Porches are recommended to be a minimum of three bays wide.
- All street facing porches shall be a minimum of 8'-10' deep, unless otherwise approved by the ARB.
- Posts shall be a minimum of 8" x 8" and have cap and base moldings.
- Round columns shall not be less than 8" in diameter on second floor porches and not less than 10" in diameter on first floor porches.
- Eaves extending more than 2'-0" over the edge of the porch are encouraged.

PORCH - NOTES:

- Consider the location of natural features, views, sun angles, prevailing winds and neighboring properties when deciding on a porch location.
- Strive to maintain vertical proportions on all porches.
- The height of the columns relative to the diameter is extremely important in providing proper scale and balance to the façade.

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- The size of the columns shall diminish by 2” at each additional floor. The centerlines of all columns shafts shall align vertically.
- All wood surfaces—except for decking—in front porch, rail and stair assembly must be treated with either paint or stain.
- Enclosed front porches (on the front or sides of the home) are prohibited, unless approved by the ARB.
- Screened porches must be designed with screening on the inside of the porch columns and pickets.

DECKS

DECK MATERIALS:

- Deck foundations should meet the requirements and recommendations of the FOUNDATIONS section above.

DECK - NOTES:

- Consider the location of natural features, views, sun angles, prevailing winds and neighboring properties when deciding on a deck location.
- Decks should be designed to appear integral to the design and should avoid the appearance of being “added on” as an afterthought. Railing type and design shall relate to other railings on the home.
- All designs must be approved by the ARB.

ROOFS

RECOMMENDED ROOF MATERIALS:

- Wood shakes.
- Wood shingles (cedar).
- Architectural Grade Composition (Fiberglass) Shingles shall be of variegated color and “Shake” style. Minimum 275 pounds and minimum 30-year warranty.

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- 5-V crimp (metal) with painted or Galvalume finish. Colors should complement surrounding natural colors.
- Standing Seam (metal). Colors should complement surrounding natural colors (i.e., Dark Bronze, Matte Black, Slate Gray). All colors shall be submitted to the ARB to be approved at the Board's sole discretion.
- Copper may be utilized if allowed to weather to a patina finish.
- Natural or Synthetic Slate. A sample of synthetic slate must be approved by the ARB.
- Concrete or clay flat tile.

RECOMMENDED GUTTER MATERIALS:

- Wood.
- Aluminum.
- Galvanized Steel.
- Copper.
- Gutters must be ½ round or crown gutters.
- Unusual downspouts, such as chain downspouts, are discouraged.

ROOF CONSTRUCTION:

- The main structure roof pitch or slope should be a minimum of 30 degrees unless otherwise approved by the ARB. Porches, breezeways, and other secondary structures may have a lower pitch.
- Large roof overhangs are encouraged on principal building masses to protect windows and vertical building surfaces.
- Exposed rafter detailing at overhangs is encouraged on architecture using a less formal design.
- Cornices may be enclosed and shall be furnished with crown and bed moldings.
- Soffits shall not be constructed using perforated vinyl materials.

- Penetration and Gutters: vent stacks, roof vents, and other penetrations shall be painted to match the roof color and must be located away from the roof planes of the front elevation or other primary elevations.

ROOF - NOTES:

- Climatically appropriate design solutions are encouraged.
- The use of corrugated metal is prohibited on all roofs.

CHIMNEYS

CHIMNEY MATERIALS:

- Brick or Stucco only, siding is prohibited. No synthetic or foam may be used with stucco application, and only a fine sand or tabby finish (where appropriate) will be permitted.

CHIMNEY CONSTRUCTION:

- Chimney hoods or pots are required to screen flue caps and/or spark arresters.
- Chimney cap recommendations: arched, stepped, chimney pots, and double arched styles.

CHIMNEY - NOTES:

- Chimney proportion and profile should enhance the architectural style of the house.

ACCESSORY BUILDINGS

An accessory building is defined as a structure detached from the main house, such as a garage, guest house, pool house, studio, conservatory or workshop.

Accessory buildings are subject to the same design standards and review as primary structures and are subject to Charleston County Zoning Regulations.

GARAGES:

- Every house shall have a garage for not less than two (2) vehicles.

- Garage doors are required and shall not face the front street elevation unless a variance is approved by the ARB. Approval will only be given if the Owner can indicate a hardship (ie lot size, configuration, topography or other circumstances deemed sufficient by the ARB).
- Stamped metal garage doors shall be prohibited.
- Garage door details and materials must be submitted to the ARB for review.

ADDITIONAL ARCHITECTURAL REGULATIONS

- Television and radio antennas are not permitted on roofs and should be installed in attics.

SECTION 4 – LANDSCAPE & SITE DETAILS

Waterloo Estates has been planned to maximize the use of natural elements. Various hardwoods and pine trees are plentiful within the community, and it is the ARB's intent to maintain this landscape integrity. Landscape design should always complement and account for the architecture and location of the residence.

A fundamental design criterion is the need for gardens and lawns to harmonize with the native vegetation, terrain and natural beauty of the community.

GENERAL LANDSCAPE REQUIREMENTS

PLANTING APPROACH:

The Landscape Plan should:

- Frame and enhance views.
- Create outdoor living spaces.
- Accentuate architecture.
- Screen utility areas.
- Soften the foundation of the building.
- Buffer driveways and parking areas along property lines.
- Protect areas disturbed during construction from erosion.

LANDSCAPE SPECIFICATIONS:

- The Contractor shall be responsible for site inspection prior to landscape construction and installation in order to acquaint himself with the site's existing conditions.
- The Contractor shall verify plant counts from the Landscape Plan and shall provide and install plant materials as shown.
- All plant material shall be balled and burlapped or container grown.

- Plants shall be of top quality as defined in the current issue of “American Standard for Nursery Stock,” published by the American Association of Nurserymen, Inc.
- Plants shall be sound, well-formed, healthy, vigorous, well-branched and densely-foliated (when in leaf) specimens with growth typical of the variety specified. They shall be free of disease, insect pests, eggs or larvae, and shall have healthy well-developed root systems. They shall be free from physical damage or adverse conditions that would prevent thriving growth.
- Plants shall be true to species and variety and shall conform to measurements specified.
- All trees, shrubs and groundcovers shall be planted with a soil mixture consisting of 50% topsoil and 50% organic material. Organic material shall mean peat moss or ground pine bark, ¼” aggregate size or smaller. Organic material shall be disease free and shall contain no noxious weed seeds, soil, sawdust or substances toxic to vegetation. Organic material shall also be in air-dry condition and shall be free from animal and/or mineral matter.
- All plant beds shall be mulched with a 3” layer of pine straw or shredded hardwood mulch. Pine straw and mulch shall be free from noxious weed seeds, fire ants, Japanese beetles and / or white fringed beetles. In no case should an open area of mulch exceed 100 SF.
- The Contractor shall be solely responsible for the safe transportation of plants to the site and their condition upon arrival. Trees with abrasions of the bark, sunscald, fresh cuts or breaks of limbs which have not completely callused shall be rejected. Trees which have been damaged during transit shall be replaced by equal specimen trees by the Contractor at no additional cost to the Owner.
- The Contractor shall guarantee all plant material for one full year.
- The DRA (Design Review Administrator, see Section 5) shall approve any changes in plant material differing from those submitted and approved.

VEGETATION

SITE CLEARING, GRADING, DRAINAGE:

- The Contractor shall be responsible for providing positive drainage at two percent (2%) minimum in all planted areas.

LAWNS:

- On all lots, a maximum of approximately one-half of the improved landscape surfaces in front yards shall be a lawn of warm season turf grass.
- Adjoining lawns should be viewed as large, flowing open spaces.
- A uniform turf grass of St. Augustine, Centipede or Empire Zoysia shall be approved. Other high-quality turf grass varieties may be considered by the ARB for special circumstances on a case-by-case basis.

HEDGES:

- Hedges need not be formal, clipped vertical planes requiring constant shearing and clipping but can be massed as a dense thicket.
- Buffer edges planted at the front build-to line and extending along the side property lines to the rear property line are encouraged but not required. Evergreen plants are recommended for such screening.
- When deciduous plant material is used along property lines, consideration should be given to the plants' flowering characteristics and structural appearance in the winter.
- The Landscape design should transition from groundcovers and progress to larger shrubs closer to the house, mixing textures and colors.

SHRUBS & GROUNDCOVERS:

- At least 25% of the improved landscape surfaces on all yards shall be beds of shrubs and groundcovers.
- Seasonal color and groundcovers are to be planted in sufficient quantity so that no exposed areas of pine straw are visible once the plants have reached average maturity. In the interim, no areas of open pine straw greater than 100 SF will be permitted.

PLANT SELECTION:

- Selected plant palette should carefully mix textures and colors.
- The plant palette should complement native species and be compatible with existing environmental and ecological conditions.

- Hardiness, drought tolerance and non-invasive characteristics should be considered.
- Deer resistant plants and shrubs are recommended.
- Plants for screening should be of sufficient and appropriate size and spacing to ensure an adequate buffer within a short period of time.
- Foundation plantings should screen any crawlspaces under houses and decks.

CUTTING / VEGETABLE GARDENS:

- Cutting / Vegetable Gardens are permitted as long as they are located in rear yards. Proposed size and location must be submitted and are subject to ARB approval.
- In the interest of preventing nuisance pests from becoming a problem, simple, attractive, well maintained post and wire garden fencing is strongly encouraged
- No garden may be located within 10 feet of side property lines
- No garden may be located within 20 feet of rear property lines

TREE PLANTING:

- In the event of substantial clearing (due either to existing lot conditions or ARB approved clearing), the following standards will be required: in the front yard of each lot, there shall be planted at least two canopy trees of 4" caliper diameter or greater, as measured 12 inches from the top of the root ball. Existing trees in the front of each lot may be preserved, and the required trees may be planted elsewhere on-site.
- All proposed trees to be planted in grass areas and all existing trees located in grass areas shall be mulched at the base with a minimum 4'-0" diameter circle of pine straw or shredded hardwood mulch.
- The addition of small flowering trees grouped in clusters should be considered in the Landscape Plan to enhance a potentially sparse understory.
- All trees shall be properly guyed and staked. Guy wires shall be encased in hose to prevent direct contact with the bark of the tree and shall be placed around the trunk in a single loop. Cloth strapping may also be used.

TREE REMOVAL:

- Tree preservation is strongly encouraged. Tree removal is allowed for necessary lot clearing and grading for the proposed house footprint. Vista enhancement will also be taken into consideration. A tree removal plan shall be submitted to the ARB. Removals cannot commence without ARB approval.
- The cutting of forest canopy is prohibited, except for removal of dead branches, sub-standard sized saplings and straggly material for maintenance.
- All cutting is subject to the Charleston County Zoning & Land Development Regulations (most recent version), Article 9.4 *Tree Protection and Preservation*.
- Tree protective barricades shall be placed around all trees in or near development areas as required by the Charleston County Zoning & Land Development Regulations (most recent version), Article 9.4.4.B *Tree Protection During Development and Construction*.

IRRIGATION:

- An irrigation system controlled by an automatic timer or clock is required for the best possible maintenance of lawn or landscaped areas.
- An irrigation plan must be submitted with the landscape plans.
- Rainwater collection and drip irrigation are encouraged.

CORNER LOT PLANTING REQUIREMENTS:

- On corner lots, planting will be required along both frontages as these lots present two facades and two front yards in the public realm.

MINIMUM PLANTING REQUIREMENTS

- The “Minimum Planting Requirements Per Lot” chart (below) was developed to assist the Owner, Builder, and Landscape Architect in developing landscape plans.
- These quantities are minimums; additional plants beyond these numbers are encouraged. These quantities were determined for lots with minimal tree cover.

- In an effort to preserve existing trees, lots with sufficient existing trees may be given credit for those trees preserved, and the minimum planting requirements may be reduced dependent upon existing site conditions, as determined by the ARB.
- At least two-thirds of the planted trees must be trees native to the Lowcountry. Palmetto trees do not count toward this calculation.
- Any corner of a house, post structure, etc. that creates a vertical line not softened at its base by foundation planting, must have a vine or climbing shrub planted at its base and trained to cover such a structure.

MINIMUM PLANTING REQUIREMENTS PER LOT

Lot Width	Canopy Trees ^{1,4}	Evergreen Trees	Shrubs ²	Front	Each Side ³
50'-100'	2	1	50	30	5/5
100'-200'	3	2	65	35	7/7
200'-300'	4	3	100	50	10/10
300' and up	5	5	150	80	15/15

¹ Includes required front yard tree planting.

² At least 50% of shrubs planted must be from containers sized 7 gallons or greater. The minimum acceptable plant size for shrubs is a 3-gallon container.

³ An alternative design solution that combines the side and back yard planting requirements may be considered.

⁴ At least two existing trees of 4" caliper or two planted trees of 4" caliper must be provided at the front of the lot.

MINIMUM PLANT SIZE AT TIME OF INSTALLATION

Plant Type	Size
Canopy Tree	Two at 4" Caliper, the balance at 2.5" caliper
Evergreen Tree	8' – 10' height
Ornamental Tree	6' – 8' height
Shrubs	50% at 7-gallon container The minimum size for all shrubs shall be 3-gallon containers.
Groundcover	4" pot to 1 gallon

RECOMMENDED PLANT PALETTE

LARGE DECIDUOUS TREES (NATIVE):

ACER barbatum	Southern Sugar Maple
CARYA species	Hickory
CARYA illinoensis	Pecan
FAGUS grandifolia	American Beech
FRAXINUS americana	White Ash
LIQUIDAMBAR styraciflua	Sweetgum
LIRIODENDRON tulipifera	Tulip Poplar
MAGNOLIA acuminata var. subcordata	Cucumbertree
NYSSA sylvatica	Black Tupelo
QUERCUS falcata	Southern Red Oak
QUERCUS michauxii	Swamp Chestnut Oak
QUERCUS shumardii	Shumard Oak
TAXODIUM distichum	Bald Cypress

LARGE EVERGREEN TREES (NATIVE):

x CUPRESSOCYPARIS leylandii	Leyland Cypress
GORDONIA lasianthus	Loblolly Bay
ILEX opaca	American Holly
JUNIPERUS virginiana	Eastern Red Cedar
MAGNOLIA grandiflora	Southern Magnolia
MAGNOLIA virginiana	Sweetbay Magnolia
PINUS palustris	Long-Leaf Pine
PINUS glabra	Spruce Pine
PRUNUS caroliniana	Carolina Cherry Laurel
QUERCUS virginiana	Live Oak
SABEL palmetto	Cabbage Palm

SMALL ORNAMENTAL, FLOWERING & FRUITING TREES (NATIVE):

AMELANCHIER arborea	Downy Serviceberry
CARPINUS caroliniana	American Hornbeam
CERCIS canadensis	Eastern Redbud
CHIONANTHUS virginicus	White Fringe Tree
CORNUS florida	Flowering Dogwood
CRATAEGUS marshallii	Parsley Hawthorn
CRATAEGUS species	Hawthorns
DIOSPYROS virginiana	Easter Persimmon
HALESIA diptera	Yellow SnowDrop
HAMAMELIS virginiana	Witchhazel
ILEX vomitoria	Yaupon Holly
PRUNUS species	Plums & Cherries
RHUS copallina	Winged Sumac
SASSAFRAS albidum	Sassafras
STYRAX species	Snowball
VACCINIUM arboreum	Sparkleberry

SMALL ORNAMENTAL, FLOWERING & FRUITING TREES (NON-NATIVE):

ACER palmatum	Japenese Maple
CORNUS kousa	Japenese or Korean Dogwood
LAGERSTROEMIA indica	Crape Myrtle
MAGNOLIA soulangeana	Saucer Magnolia
MAGNOLIA stellata	Star Magnolia
MALUS species	Crabapple
PRUNUS species	Plums & Cherries
PYRUS calleryana 'Bradford'	Bradford Pear
STEWARTIA pseudocamellia	Japanese Stewartia
STYRAX species	Snowbell

DECIDUOUS, FLOWERING & FRUITING SHRUBS (NATIVE):

AESCULUS parvifolia	Bottlebrush Buckeye
ALNUS serrulata	Smooth Alder
ARONIA arbutifolia	Red Chokeberry
BACCHARIS halimifolia	Groundsel Tree
CALLICARPA Americana	American Beautyberry
CALYCANTHUS floridus	Carolina Allspice
CLETHRA alnifolia	Summersweet
EUONYMUS americanus	Hearts-a-burstin'
HYDRANGEA quercifolia	Oak-leaf Hydrangea
AMOPHA fruticosa	False Indigo
ILEX species	Hollies
ITEA virginica	Virginia Sweet Spire
RHODODENDRON species	Azeleas
ROSA Carolina	Carolina Rose
VIBURNUM species	Viburnums
SAMBUCUS Canadensis	American Elder
RHUS species	Sumacs
STYRAX Americana	American Snowbell
VACCINIUM species	Blueberries

DECIDUOUS, FLOWERING & FRUITING SHRUBS (NON-NATIVE):

BUDDLEIA davidii	Butterfly Bush
CHAENOMELES speciosa	Flowering Quince
COTONEASTER species	Cotoneaster
FORSYTHIA x intermedia	Yellow Bells
PHILADELPHUS coronaries	Sweet Mock Orange
VIBURNUM species	Viburnums
FOTHERGILLA species	Fothergilla

EVERGREEN SHRUBS (NATIVE):

ILEX species	Hollies
LEUCOTHOE populifolia	Florida Leucothoe
MYRICA cerifera	Wax Myrtle
OSMANTHUS Americana	American Tea Olive

EVERGREEN SHRUBS (NON-NATIVE):

BUXUS species	Boxwoods
CAMELLIA japonica	Japanese Camellia
CAMELLIA sasanqua	Sasanqua Camellia
CHAMAEROPS humilis	Mediterranean Fan Palm
FATSIA Japonica	Japanese Fatsia
ILEX species	Chinese and Japanese Hollies
LIGUSTRUM japonicum	Japanese privet
MAHONIA species	Mahonia
NERIUM oleander	Oleander
OSMANTHUS species	Osmanthus
PITTOSPORUM species	Pittosporum
RAPHIOLEPIS indica	Indian Hawthorn
RAPHIOLEPIS umbellata	Yeddo Hawthorn
RHODODENDRON species	Azeleas
SARCOCOCCA ruscifolia	Sweet Box
SKIMMIA species	Skimmia
YUCCA gloriosa	Mound Lily

GROUNDCOVERS

AJUGA reptans	Bugleweed
GELSEMIUM sempervirens	Yellow Jessamine
HEDERA species	Ivy
JUNIPERUS species	Junipers
LIRIOPE species	Lilyturf
OPHIPOGON japonicus	Mondo-Grass
SERENOA repens	Saw Palmetto
TRACHELOSPERMUM asiaticum	Asian Jasmine
VINCA minor	Common Periwinkle
VINCA major	Bigleaf Periwinkle

DRIVEWAYS

Driveways and walkways are an extension of the home. Both should be purposefully designed to remain in unison with the architectural style and materials of the home.

- Driveways should be located to avoid entering tree root zones (under canopy drip lines).
- Driveways and walkways should be curved where practical between existing trees to avoid unnecessary cutting and to avoid a “straight shot” view to the garage, parking area or front and side doors of the house.
- Driveways must be 10’-12’ wide and should meet the street with a 10’-0” radius at the corner.
- Parking must be adequate for one owner car and two guest cars without stacking. It is required that the guest parking areas be located to avoid views of the back of cars from the pedestrian right-of-way.
- Driveways that run near a property line must be screened within the property line with appropriate landscape planting, walls and fencing.
- No common driveways will be allowed unless approved by the ARB.
- All driveways must provide a substantial apron at the road edge.
- Semi-circular driveways and motor courts will be considered on an individual basis and shall only be allowed with ARB approval.

APPROVED DRIVEWAY MATERIALS:

- **Hard surfaces:** Heavy broom finish concrete, lightly brushed concrete, scored concrete, colored or acid etched concrete, tabby, brick, pre-cast concrete unit pavers.

Hardsurfaced areas must provide adequate drainage provisions to accommodate a heavy downpour. Driveways must not drain into the street.

- **Pervious surfaces:** Turf grid, concrete pea gravel, crushed granite or stone (washed), crushed shell.

Pervious materials that allow rain water to filter through are encouraged wherever possible and shall have appropriate edge material.

- Site plans submitted to the ARB should clearly indicate all driveways, walkways, etc.

WALKWAYS

APPROVED WALKWAY MATERIALS:

- **Hard surfaces:** Heavy broom finish concrete, lightly brushed concrete, scored concrete, colored or acid etched concrete, tabby, brick, pre-cast concrete unit pavers.

Hardsurfaced areas must provide adequate drainage provisions to accommodate a heavy downpour.

- Pervious surfaces: Turf grid, concrete pea gravel, crushed granite or stone (washed), crushed shell.

Pervious materials that allow rain water to filter through are encouraged wherever possible, and shall have appropriate edge material.

- Site plans submitted to the ARB should clearly indicate all driveways, walkways, etc.

FENCING / SITE WALLS

Fences and walls can offer visual permeability while also contributing to a street front community, establishing territory, and providing privacy in a side or rear yard. All fence and site walls must be functional (i.e. to create privacy, enclose a service area or HVAC unit, etc.) .

- Fences and walls should never enclose an entire yard.
- Chain link fence is expressly prohibited.

FRONT YARD FENCES:

- Front yard fences must be constructed of brick piers with wood or iron infill panels.
- Fences and walls in the front setback zone may be permitted on a case-by-case basis.
- Fences must be visually permeable.

SIDE YARD FENCES:

- Sideyard and rear fences may be constructed of brick piers with wood or iron-infill panels or wood posts and pickets.

REAR FENCES:

- Rear yard garden walls must be constructed of brick piers with wood or iron infill panels.
- Privacy fences proposed for total rear yard enclosure are prohibited. Special exceptions shall be reviewed by the ARB.

WALKWAY GATES:

- Walkway gates shall be reviewed for approval by the ARB.

ALL FENCES/WALLS:

- All fences and walls must be of the highest quality. Fences constructed of the following materials will be favored:
 - Wood (i.e. Picket Fences) painted a color appropriate to the context of the home and approved by the ARB.
 - Brick.
 - Brick Pier with wood or wrought iron infill.
 - Genuine stucco.
 - Authentic oyster shell tabby.
- Fences and walls should be softened by plantings that include vines and other plant materials.

FENCE & WALL HEIGHT:

Fences and walls shall not exceed 4'-0" in height unless the ARB in its sole discretion permits in writing a higher fence. The piers, columns, etc. can extend up to 5'-0".

GATES

DRIVEWAYS:

- Driveway gates are discouraged. Entry monuments, matching/coordinating with the home architecture are allowed, pending ARB approval.

OUTDOOR LIGHTING

- Exterior lighting must be limited to areas within the allowable buildable area & low-level light fixtures. Lighting should be focused on the landscaping and not the architecture of the house.
- Exterior lighting cannot result in excessive glare and must not interfere with the privacy of nearby dwellings.
- Flood lights must be hooded to avoid visibility of the bulbs from the street and neighbors.
- Path lighting must be no taller than 3'-0" mounting height and use low-voltage lamps.
- Landscape lighting fixtures must be shielded by plantings and concealed during the daytime.
- The number of lampposts allowed will depend on the site layout of each individual lot, as determined by the ARB.
- Lampposts should be a maximum of 6'-0" in height and should be designed in the character of Lowcountry Plantation lighting.
- No lighting shall be placed in street right-of-ways, drainage or utility easements.
- Colored lights are prohibited.
- Cutsheets shall be provided to the ARB for approval for all exterior lighting prior to installation.

ATTACHMENTS, SATELLITE DISHES AND ANTENNAS

- The proposed location of permanent attachments of any kind or character whatsoever (including, but not limited to, television and radio antennas, solar energy-related systems, satellite or microwave dishes or similar improvements) shall not be made to the roof or exterior walls of any building or otherwise be placed or mounted on any lot unless such attachments or devices are approved in advance by the ARB.
- No permanent attachment (as listed above) shall exceed 24" in diameter.

- Every effort shall be made to screen and/or disguise such attachment, and the placement of all such attachments shall be subject to the approval of the ARB.

HVAC EQUIPMENT

- No air conditioning or heating apparatus shall be installed on the ground in front of or attached to any front wall of any residence on any Lot.
- Air conditioning and heating apparatuses shall be screened from the street by landscaping or fencing. Suitable fencing of a color and design consistent with the architectural style shall be 4'-0" high with lattice, louvers or brick lattice. The design of such fencing must be approved by the ARB.
- Electric meters must also be screened from view.

MAILBOXES AND HOUSE IDENTIFICATION

- All mailboxes and newspaper boxes must be of a standard color, size and design as approved by the ARB ~~or as provided by Declarant~~ and may be installed only in a location approved by the ARB. Mailboxes will be reviewed for location relative to the residence.
- House numbers may be displayed on buildings and mailboxes only as approved by the ARB. Each home shall be identified by numerals to coincide with the 911 numerical listing. Review applicable ordinances requiring posting and location prior to selecting a posting location on the residence. All numerical postings will require ARB approval.

PLAY EQUIPMENT / PET ENCLOSURES

Elements of a planned park or playground, swing sets and similar outdoor play areas, structures and equipment should be located where they will have minimal impact on adjacent Lots and where they will best be screened from general public view. The types of materials allowed are subject to the approval of the ARB.

POOLS, THERAPY POOLS AND SPAS

- The size, shape and setting of pools must be carefully designed to achieve a feeling of compatibility with the surrounding natural and manmade

environment. The location of swimming pools, therapy pools and spas should consider the following:

1. Indoor / outdoor relationships
 2. Setbacks
 3. Views both to and from the pool area
 4. Wind
 5. Sun angles
 6. Terrain (grading and excavation)
 7. Fencing and privacy screening
- Pool and pool equipment enclosures must be architecturally related to the residence and to other structures within their visual field.
 - Any pool-related area is considered disturbed area and cannot occur within setbacks, buffers, or easements.
 - Above-grade pools and inflatable bubble covers are prohibited.
 - Pool slides are prohibited unless they are low in vertical profile and approved by the ARB in writing.

TENNIS COURTS

- Individual tennis courts are permitted within the disturbed area provided that the courts are not lighted.

ADDITIONAL LANDSCAPE REGULATIONS

- Every home must have an enclosed service area suitable for garbage, recycling etc. that must be screened from view by methods and with materials approved by the ARB.
- All transformers/generators must be screened from view by methods and with materials approved by the ARB. Builders must consult with applicable service or utility providers prior to planning near or around the transformers.
- No accessory vehicular, mobile home, boat, trailer, tent, barn or other similar out-building, or structure shall be placed on any lot without prior written approvals by the ARB.
- Equestrian facilities are allowed, pending design review and approval by the ARB.

- Any vehicles or equipment that cannot be stored in a garage structure or discretely screened as approved by the ARB, are required to be stored off-site at the Owner's expense.
- CATV coaxial cables may not run on exposed exterior surfaces.
- Clotheslines are prohibited.

SECTION 05 - DESIGN REVIEW PROCESS

ARCHITECTURAL REVIEW BOARD (ARB)

FUNCTION OF THE ARCHITECTURAL REVIEW BOARD:

The ARB exists to review all new construction, renovations, remodeling, alterations and additions at Waterloo Estates. The ARB has been established by the Developer of Waterloo Estates for the purpose of guiding and enhancing all development within Waterloo Estates. **These measures are implemented as a means of protection of home values for all homeowners.**

Review and approval by the ARB is the first step in the necessary approvals for any new building. Documents approved by the ARB must be used in following all the normal procedures administered by Charleston County for obtaining building permits.

The review by the ARB considers how well proposed projects relate to the ARCHITECTURAL DESIGN GUIDELINES (the Guidelines) set forth for Waterloo Estates. The Guidelines are administered through a Design Review Administrator (DRA) who will be appointed by the Developer (the Developer's successor and Assigns). The DRA shall be a professional design consultant.

DESIGN REVIEW ADMINISTRATOR (DRA)

A. LIMITATIONS OF RESPONSIBILITIES

The primary goal of the DRA is to review the application, plans, specifications, materials, and samples submitted to determine if the proposed development conforms in appearance and construction criteria with the standards and the policy as set forth by the Guidelines. The DRA does not assume responsibility for the following:

- The structural adequacy, capacity or safety features of the proposed improvement or structure.
- Soil erosion, soil conditions or site/drainage elevations.
- Compliance with any or all building codes, safety requirements, governmental laws, regulations and ordinances.
- Performance or quality of work of any contractor.

B. FUNCTIONS OF THE ADMINISTRATOR

The DRA will evaluate the site plans, architectural plans and landscape plans for Waterloo Estates based on adherence to the design criteria and performance and quality set forth in these Guidelines. The DRA may also evaluate designs based upon criteria that the DRA deems important to the community. If conflicts arise in meeting these standards, the DRA will review and evaluate the conditions and decide the outcome. The DRA has the right to grant variances from the Guidelines.

Applicants will be responsible for any fees related to filing variances with local governmental or other reviewing agencies.

The DRA may monitor the construction process in order to ensure conformance with the approved documents and the standards set forth in the Guidelines. **It is, however, the responsibility of the Owner, assisted by his/her Architect and Builder to ensure that what is actually built is consistent with plans approved by the DRA.**

The DRA will review all plans. Unapproved or incomplete submissions shall be returned to the Owner for revision and may be resubmitted for review. The response of the DRA will be given as expeditiously as possible, normally within 15 calendar days after all required plans, specifications or other documents referred to in the Guidelines have been submitted to the DRA. One copy of all documentation submitted to the DRA shall be retained for permanent record, and the other copy, bearing the approval of the DRA, will be returned to the Applicant. The approved documents will in no way relieve the builder of his responsibility and liability for adherence to all applicable ordinances and building codes.

QUALIFIED DESIGN PROFESSIONALS

To ensure that Waterloo Estates maintains a high quality of architectural designs, all plans for the constructions of dwellings and other buildings or significant structures at Waterloo Estates must be designed, drawn, and certified by a South Carolina Registered Architect who has significant experience in residential design and construction.

All landscape plans for the landscape and sitework of dwellings, other buildings or significant structures must be designed, drawn and certified by an experienced South Carolina Registered Landscape Architect.

DESIGN REVIEW PROCESS

GENERAL REQUIREMENTS

There shall be an emphasis on:

- Thoughtful site planning that respects and preserves the natural settings.
- Architecture and Landscape Architecture that fit well with their natural and built surroundings.
- The use of traditional Lowcountry building design concepts and details.

Only professionals qualified in the fields of architecture, landscape architecture, engineering, surveying, and construction shall be used.

APPLICATION FORMAT

Application forms and submittal checklists will be available from the DRA. An application fee will be assessed.

DESIGN REVIEW PROCEDURE

Written permission by the DRA is required prior to undertaking any site improvements, construction, or installation including site clearing or grading.

Submissions to the DRA may be disapproved upon grounds consistent with the objectives of the Design Guidelines, including purely aesthetic considerations.

The following sequence has been established to provide a systematic review process of all proposed designs, plans and construction. These steps represent the necessary procedures in the review process of all proposed designs, plans and construction.

1. Pre-Design & Site Analysis Conference
2. Preliminary Design Submittal
3. Final Design Submittal
4. Stake-out Inspection
5. Certificate of Compliance – Final Review

THE FOLLOWING IS AN OUTLINE OF EACH PHASE OF THE DESIGN REVIEW PROCESS AND THE SUBMITTAL REQUIREMENTS FOR EACH PHASE:

1. PRE-DESIGN & SITE ANALYSIS CONFERENCE

A mandatory Pre-Design Conference is required. It is recommended that the Conference is scheduled prior to commencing extensive site design. The Pre-Design & Site Analysis Conference precedes extensive plan development and is intended to avoid costly redesign and delays during the design and submittal stages by establishing a common ground for the development of the site.

A Pre-Design Conference can be set up by appointment. The property owner and/or his Architect and Landscape Architect are welcome to meet with the DRA to discuss general design objectives, the characteristics of the particular site and the submittal requirements for ARB review.

To facilitate a productive meeting, the Owner is encouraged to bring the following information:

- **Tree and Topographical Survey**
- **Conceptual Site Plan** showing the following:
 - Anticipated number and location of buildings to be developed on the site.
 - Approximate square footage, height, and foot-print size of the building(s).
 - Trees to be removed.
 - Relationship of the site to setbacks, buffers, easements and adjoining wetlands & existing homes.
 - Conceptual layout for parking, driveways, porches, terraces, decks, swimming pools, walls and fences.
 - A general concept addressing methods of handling site drainage.
- **Architectural Review Fee:** Fee includes review of architecture, landscape architecture (Refer to Schedule of Fees).

Additionally, design professionals are required to visit Waterloo Estates, if possible, for an on-site tour prior to beginning preliminary design plans. The design team can then creatively design the residence in a manner compatible with the overall goals of Waterloo Estates. Visiting the site and observing the other homes in Waterloo Estates will provide valuable information relative to the site, site placement, existing site parameters, trees of significance and the design process.

2. PRELIMINARY DESIGN SUBMITTAL

The Preliminary Design Submittal is required. A complete Preliminary Design Submittal will include appropriate forms and two complete sets of the following:

- **Architectural Review Fee:** Fee includes review of architecture, landscape architecture (Refer to Schedule of Fees).
- **Survey** at a minimum scale of 1"=20'-0" showing boundaries, trees and topography and indicating property boundaries, easements, existing site features, adjacent property development and topography at a one (1) foot contour interval. Show adjacent wetlands if applicable.
- **Tree Survey** at a minimum scale of 1"=10'-0" showing all trees eight inches (8") and above in caliper for all areas proposed for disturbance.
- **Site Plan** at a minimum scale 1" = 10'-0" showing the following:
 - Site Location Map.
 - Preliminary Tree Removal and Protection Plan.
 - Building(s), driveways, walkways and parking locations (overall dimensions, setback lines, square footage).
 - Landscape features such as terraces, decks, swimming pools, walls, fences, walks, and service yards.
- **Conceptual Landscape Plan** at a minimum scale of 1" = 10'-0" showing the following:
 - Areas to be grassed, plant bed lines, shrub massing and proposed trees.
- **Preliminary Plans** at a minimum scale of 1/8" = 1'-0" showing the following:
 - Floor Plans.
 - Sections (Wall sections and Lateral/Transverse Sections).
 - Two Primary Elevations indicating proposed materials.

3. FINAL DESIGN SUBMITTAL

The Final Design Submittal is required. A complete Final Design Submittal will include appropriate forms and two complete sets of the following:

- **Architectural Review Fee:** Fee includes review of architecture, landscape architecture (Refer to Schedule of Fees).

- **Site Plan** at a minimum scale of 1" = 10'-0" showing the following:
 - Property lines.
 - Building footprints(s).
 - Existing contours.
 - All easements, right of ways, and setbacks.
- **Utility Plan*** at a minimum scale of 1" = 10'-0" showing the following:
 - Site drainage, catch basins, easements, etc.
 - Sanitary sewer lines.
 - Water lines and meter locations.
 - Electric, telephone, cable, gas lines including meter locations, exterior lighting plan.
 - Location of A/C units and service areas.
- **Grading and Drainage Plan*** at a minimum scale of 1" = 10'-0" showing the following:
 - Existing and Proposed Contours, Spot Grades.
 - Finished Floor Elevations and Drainage Patterns.
- **Conceptual Landscape Plan** at a minimum scale of 1" = 10'-0" showing the following:
 - Landscape Plan showing ll new planting and existing vegetation to be saved.
 - Quantities and Sizes of plant materials (noted).
 - Irrigation Plans will be submitted as part of the landscape plans and specifications. Irrigation Plans may consist of an outline of areas to be irrigated and a specification for coverage and shall indicate which areas are irrigated by sprinkler heads and which are irrigated by drip lines.

- Building Plans at a minimum scale of 1/4" = 1'-0" & Construction Details at a minimum scale of 1" = 1'-0".
- Final Plans for all proposed structures showing the following:
 - Floor Plans at a minimum scale of 1/8" = 1'-0".
 - Wall Sections at a minimum scale of 1/4" = 1'-0".
 - Longitudinal & Transverse Sections at a minimum scale of 1/4" = 1'-0".
 - All Elevations at a minimum scale of 1/8" = 1'-0".
 - Details at a minimum scale of 1" = 1'-0".
- Materials and Color Sample Mock-up ON-SITE: the Owner shall provide Cut Sheets of roof, siding, trim and windows.
- Specifications outlining all divisions of work including site work, landscape, architectural, mechanical, and electrical systems.
- Schedule to show time frame of construction. If after Final Design approval by the DRA, final construction plans change during the permitting phase, the Owner will submit a set of the revised permitted construction documents to the DRA for approval.

**This information may be included on the Site Plan in lieu of a separate Utility Plan and Grading and Drainage Plan if the information is presented clearly and legibly.*

4. STAKE-OUT INSPECTION

The DRA will require the Owner/Contractor to stake the location of the house, decks and other proposed Improvements. The staking shall consist of stakes driven at each major corner of the Improvement, connected with string or colored tape to clearly indicate the Improvement location. Prior to the start of construction, the contractor's final stakeout must be approved by the DRA.

MINOR CHANGES DURING CONSTRUCTION

The DRA can approve minor changes in the field during construction that do not significantly alter the exterior elevations. The Construction Change Application (available from the DRA) shall be completed by the Owner's representative and approved by the DRA for more significant changes. The DRA will determine distinction between

minor and major changes. Major changes require submittal to the DRA for review and approval.

5. CERTIFICATE OF COMPLIANCE – FINAL REVIEW

Architectural Review Fee: Fee includes final review of architecture, landscape architecture (Refer to Schedule of Fees).

A written Certificate of Compliance is the Final Review for development at Waterloo Estates. This certificate is issued to an Owner at the completion of construction as assurance by the DRA that all of the requirements of the protective covenants have been satisfied and that the buildings have been built in accordance with the plans approved by the DRA. The Owner must submit his request in writing to the DRA for review at least two (2) weeks prior to substantial completion of the project. The building will not be occupied until a Certificate of Compliance has been issued by the DRA.

Nothing in this review process or this manual removes the Owner or his design consultants from the responsibility to comply with all local, state, and federal regulations that apply to the development of the site and the construction of the buildings. Neither the DRA nor any agent thereof will be responsible to review any plans or specifications submitted for compliance with applicable codes.

Any variations or discrepancies found during the Final Review will be listed in a report by the DRA and provided to the Owner, Architect & Builder. Where corrective action is required, a date will be provided by which time the correction must be completed. Failure to request a Final Review or to correct noted discrepancies may result in forfeiture of the Construction Escrow Deposit.

6. FUTURE IMPROVEMENT REVIEW

It is anticipated that Owners may wish to make improvements or modifications to the exterior of their home or property at some future date. No modifications of existing exterior improvements may be undertaken on any property without prior review and written approval of the DRA.

A request for review of proposed improvements or modifications to the DRA must contain:

- a) Letter of intent with description and purpose of improvements.
- b) Site plan of proposed location of improvements.
- c) Building plans and elevations as applicable.
- d) Materials and color sample boards.

CONSTRUCTION GUIDELINES

1. GENERAL REQUIREMENTS

In the interest of maintaining safety as well as an appealing image for residents and visitors, the construction process must be regulated. After receiving DRA Final Approval and obtaining all the necessary permits, the Owner's selected Contractor must submit a Construction Application Form and Construction Escrow Deposit before delivery of materials and start of construction. The Contractor's Construction Escrow Deposit is required for any necessary site maintenance, to ensure compliance with the approved plans and to correct any damage to streets, road shoulders and common areas.

Approved plans will be valid for nine (9) months, including all building improvements and landscaping. Absent extenuating circumstances, all construction should be completed within twelve (12) months of the actual initiation of construction. Contact the DRA for authorization prior to commencing work. The Owner's Contractor shall meet all requirements of the Waterloo Estate Construction Regulations. Approved landscaping must be in place before occupancy or completion of construction of the building.

2. CONSTRUCTION ESCROW DEPOSIT

Construction Escrow Deposit Fee: Refer to Schedule of Fees.

The Construction Escrow Deposit Fee shall be determined by the ARB as of the date the Final Plans are submitted. The Deposit is payable by check to the Waterloo Estates ARB. The fee shall be paid by the Contractor. In the event that the Contractor fails to do so, the Owner will be responsible for the fee.

The Construction Escrow Deposit shall be deposited by the ARB in a construction escrow account. The Construction Escrow Deposit may be used by the ARB for any of the following purposes:

- To pay for the cost to repair any damage to the roadways, roadside curbs, sidewalks or Common Areas caused by Owner or Owner's Contractor or Subcontractors not repaired by the responsible Owner, such Owner's Contractor or Subcontractors.

- To complete any landscaping shown on the Final Plans for a Lot that has not been completed within three months of the completion of the residence on such Lot.
- To pay for the cost of completing any Improvements so that they are in accordance with the approved Final Plans if the Owner fails to complete such Improvements.
- To pay for the cost of restoring or replacing any trees, other vegetation, grades or other natural features improperly removed, altered or destroyed by the Owner, the Owner's Contractors or Subcontractors in violation of the Guidelines.
- To reimburse the Developer for the Owner's share of street cleaning costs during construction. If Owner does not pay such amounts to the Developer in a timely manner as specified in the Construction Rules.
- To reimburse the Developer or ARB for the cost of cleaning up any significant amount of dirt, cement, etc. left by the Owner on any street if the same was not immediately removed by the Owner.
- To pay for the cost of enforcing any of the Owner's other obligations under the Guidelines.

Except for the reimbursements listed above, the ARB shall give an Owner prior notice that it intends to use the Owner's Construction Escrow Deposit for a particular purpose. The Owner shall thereafter have five days from the date of the notice to repair the damage, complete the landscaping or Improvements, or otherwise perform the work for which the ARB intended to use the Owner's Construction Escrow Deposit, or, if the work cannot be completed during that time, to begin the work and thereafter diligently pursue it to completion. If the Owner, upon receipt of the notice, shall fail to perform the work within the five-day timeframe, then the ARB shall thereafter be free to perform it and to use the Owner's Construction Escrow Deposit to pay for the cost thereof. Upon the completion of Improvements and when all work has been completed by either the responsible Owner or the ARB, the ARB shall return to the Owner any unused portion of the Owner's Construction Escrow Deposit.

Any and all interest earned to the Construction Escrow Deposit shall be credited to and retained by the Waterloo Estates ARB for its sole use and benefit.

The Deposit will be held and used as a deposit and will be refunded to either the Builder or the Owner at the issuance of the CERTIFICATE OF COMPLIANCE – FINAL REVIEW.

3. SITE REGULATIONS

- All reasonable means shall be taken during construction to protect and preserve all existing vegetation.
- Boards or other materials shall not be nailed to trees during construction. Open trash piles are prohibited.
- Construction debris should be placed in dumpsters.
- Storage should occur within driveway and parking limits of the site.
- Small construction trailers must be approved by the DRA.
- All structures, plantings, fixtures, fencing and landscaping—including streets, trees, lawns, sidewalks, and common areas—which are damaged during or after construction by the property Owner's or the Contractor's or Subcontractor's vehicles, or any other cause related to construction shall be repaired or replaced by the Owner.
- The Owner shall be responsible for the Contractor's actions during construction.
- Any clearing, grading or building done without approval by the DRA will result in suspension of work.
- Fines will be issued to Contractors who do not comply with rules regarding silt-fencing and debris.

4. CONSTRUCTION REGULATIONS

While construction is in progress, inspections may be conducted by the DRA to ensure conformance with the approved drawings. The Owner assumes full liability for failure of construction to comply with approved documents. Any changes made during construction must receive approval by the DRA prior to change. Major changes may constitute resubmitting for final approval. Final inspection will be made after the Contractor has completed construction including all site work and landscaping, cleaned the site of debris and removed any Contractor signage, temporary utilities and/or alterations to the construction site. The cost of any aforementioned work which is not completed and must be completed by Waterloo Estates will be deducted from the Construction Escrow Deposit.

5. CONTRACTOR REGULATIONS

- Contractors are responsible for the actions of their employees while in Waterloo Estates.
- All Contractors and Contractor personnel are asked to abide by all rules and regulations.
- All construction vehicles must comply with applicable state laws in regards to inspections, licensing and authorization for operation.
- The Contractor must provide toilet facilities for the workers on the job site in a **discreet location**.
- Contractors must be licensed in the State of South Carolina and permits must be posted and protected from the weather
- Any Contractor found to be in obvious nonconformance with the Contractor Regulations will be denied access, and work will be suspended

6. CONSTRUCTION SIGNAGE

- Construction signs shall be supplied by the Property Owner. **No other signs will be permitted.**

SECTION 6 – SCHEDULE OF FEES*
NOVEMBER 2009

PRE-DESIGN & SITE ANALYSIS CONFERENCE

New Construction	
ARCHITECTURAL REVIEW FEE	\$250.00
Alterations / Renovations	
ARCHITECTURAL REVIEW FEE	\$125.00

PRELIMINARY PLAN APPROVAL

New Construction	
ARCHITECTURAL REVIEW FEE	\$500.00
Alterations / Renovations	
ARCHITECTURAL REVIEW FEE	\$250.00

FINAL PLAN APPROVAL

New Construction	
ARCHITECTURAL REVIEW FEE	\$500.00
Alterations / Renovations	
ARCHITECTURAL REVIEW FEE	\$250.00

STAKE-OUT INSPECTION

New Construction	
DRA ADMINSTRATIVE FEE	\$250.00
Alterations / Renovations	
DRA ADMINSTRATIVE FEE	\$125.00

CONSTRUCTION ESCROW DEPOSIT

New Construction	
CONSTRUCTION ESCROW DEPOSIT FEE	\$5,000.00
Alterations / Renovations	
CONSTRUCTION ESCROW DEPOSIT FEE	\$2,500.00

CERTIFICATE OF COMPLIANCE / FINAL REVIEW

New Construction	
ARCHITECTURAL REVIEW FEE	\$250.00
Alterations / Renovations	
ARCHITECTURAL REVIEW FEE	\$125.00

ALL FEES SHALL BE MADE PAYABLE TO THE WATERLOO ESTATES ARB.

****These fees are subject to change at any time at the discretion of the ARB.***